

**City of Muskegon  
Community and Neighborhood Services  
Contractor Procurement**

**HOUSE REHABILITATION AND LEAD ABATEMENT BID SHEET COVER PAGE**

**BIDS ARE DUE Thursday, December 4, 2025 by 2:00 PM in the City Clerks Office.  
Electronic bid submissions aren't accepted. Bids can be dropped off or mailed.**

**CONTRACTOR INFORMATION**

<b>Company Name</b>			
<b>Contact Person</b>		<b>Job Title</b>	
<b>Street Address</b>	<b>City</b>	<b>State</b>	<b>Zip Code</b>
<b>Phone No.</b> (        )			

**JOB DESCRIPTION**

Description: Please provide a detailed bid for the property at 1183 Pine Street, Muskegon MI 49442. First, CNS is seeking a certified, licensed and insured lead abatement contractor to perform the lead abatement portion of the project following the attached lead work specs. This work will be performed before the general construction. Second, CNS is seeking a licensed and insured residential contractor to rehab the existing home to a 3 bedroom, 1 bath single family home. See attachments for details.

**THE HOUSE WILL BE OPEN FOR WALK THROUGHS: Monday, November 17, 2025 from 9:30 AM to 11:00 AM and on Tuesday, November 18, 2025 from 1:30 PM to 3:00 PM. Anyone choosing to bid must attend one of the scheduled walk throughs.**

**1183 Pine Street Rehab Costs SEE ATTACHMENTS FOR DETAILS**

	<b>Asbestos Rehab</b>	<b>General Rehab</b>	<b>Lead Rehab</b>	<b>TOTAL:</b>
	\$	\$	\$	
	\$	\$	\$	\$

**ANY CHANGES IN SCOPE (EXTRAS) MUST BE COMMUNICATED IMMEDIATELY**

**Please include a copy of your trade license, general liability and Worker's Compensation insurance with bid.**

**City of Muskegon  
Community & Neighborhood Services  
933 Terrace Street  
Muskegon, MI 49440  
Phone: 231-724-6717**



## **1183 Pine Street**

Bids are due Thursday, December 4, 2025 by 2:00 P.M. in the City Clerk's Office. Electronic bid submissions are not accepted. Bids can be dropped off or mailed.

Complete bid packets must include:

1. A copy of trade license and any specialty licenses, such as lead or asbestos.
2. A copy of general liability and worker's compensation insurance certificate.
3. Completed bid cover page.
4. Materials sheets.
5. Completed bid sheets for general, lead and asbestos work.
  - a. Contractors can choose to bid on just one portion of the project such as lead or general rehab. However, if bidding on just one type of work, you must bid on all items for that type of work.

Return to City Clerk's office at 933 Terrace Street, Muskegon 49440. Bid proposals should be placed inside a marked, sealed envelope, addressed to the City of Muskegon, City Clerk's office with the title of the project address; 1183 Pine Street; on the outside of the envelope with the bidder's name.

**1183 Pine Street**  
**Rehabilitation Specifications and Project Information**  
**Owner: City of Muskegon**

**General Requirements**

- I.** These rehabilitation specifications are provided for the single-family home to be renovated at 1183 Pine Street, Muskegon, MI 49442. Included in the drawings on attached pages, is the new floor plan layout of the property which can be used as reference to provide an estimate for a 3-bedroom, 1 bath, single-family home. The floor plan included with this Spec depicting the new, proposed layout of the property must be submitted with bid package.
- II.** A proposed material sheet must also be submitted with bid package. Materials should be moderate in price; no luxury materials are allowed.
- III.** General Contractor is responsible for hiring any Subcontractors required for this project and supplying all necessary materials.
- IV.** Funding for this project is being provided by the City of Muskegon through U.S. Department of Housing and Urban Development (HUD) HOME funds. Contractors must comply with all applicable funding requirements hereby incorporated into these specifications.
- V.** Contractors are responsible for field verifying all measurements. The drawings are in general and the contractor can do minor adjustments to the plans on site to account for the existing conditions that may be found on site.
- VI.** The work listed in this spec sheet is to be completed after the lead remediation work outlined in attached lead work specs. When determining an estimate for the general rehab, the estimates will consider the condition of the property post lead remediation.
- VII.** Contract will be awarded to lowest most responsible bidder.
- VIII.** Construction must be completed within 180 days of execution of said contract unless otherwise agreed to by the City of Muskegon. Contractor will be responsible for liquidated damages of \$100.00 per day over contract period.
- IX.** All materials must be installed per manufacturer's specifications and to all applicable building codes. Contractor responsible for obtaining all required permits. All contractors to complete work to City of Muskegon's satisfaction.
- X.** Work to be performed must meet 2021 Michigan Residential Building Codes, be approved by SAFEbuilt Inspection Services and at a minimum, ensure all work meets attached HUD property rehab standards. All work to comply with applicable codes per the City of Muskegon.
- XI.** Change orders must be requested of City staff before additional work is completed. Pictures must be provided with request.
- XII.** Sworn Statements and lien waivers are required prior to payment for work completed.
- XIII.** Federal Section 3 and Executive Order 11246 requirements (attached) must be met and proof of compliance is required by all general and sub-contractors.
- XIV.** Contractor is responsible for displaying on the job site the Equal Housing posters (provided by City of Muskegon), building permit, and one set of drawings.

**XV.** Contractor is responsible for keeping the property clean and secure at all times. All refuse to be removed from the home at the end of each workday to maintain a neat and orderly worksite.

**XVI.** Contractors are responsible for refuse disposal per each contract. If dumpster is being used, contractor must coordinate location with City of Muskegon, being sensitive to parking, snow removal issues, and surrounding property owners.

**XVII.** There are nearby neighbors adjacent to the subject property. Contractor and subcontractor must keep renovation noise to a minimum and advise neighbors of major disruptions to minimize conflicts. No smoking allowed in house.

**XVIII.** All Contractors must provide one year warranty on all work completed in this contract.

### GENERAL REHAB SPECS

\$\_\_\_\_\_ Demo of existing

- Doors, wood trim, plaster, drywall, and any existing insulation shall be removed down to the studs all nails and screws are to be removed. Remove the existing brick chimney down to below the 1st floor, the hole in the floor left by the removal shall be patched.
- Remove the Asbestos flooring in the kitchen and around the heat duct in the basement.

\$\_\_\_\_\_ Roofing

- Repair the hole left in the roof by the removal of the chimney, the new shingles must match.

\$\_\_\_\_\_ Trees in yard

- Remove the trees and bushes in the yard along the garage and on the non-street side of the house.

\$\_\_\_\_\_ Siding

- Repair siding and soffit and fascia on house. Remove the decorative wood trim on the peaks.

\$\_\_\_\_\_ Exterior paint

- Paint the aluminum siding on the house and garage to the Colors to be chosen by City staff.

\$\_\_\_\_\_ Foundation Repair

- Repair the foundation block under the front porch, also on the front of the garage.

\$\_\_\_\_\_ Carpentry

- Build a 3<sup>rd</sup> bedroom just outside of the bathroom. Ensure each bedroom has a finished closet. See plan.
- Provide and install necessary materials to ensure all rooms are completely finished including trim, molding, etc.
- Finish closets, as indicated on floor plan. Reframe the bathroom and kitchen area to make the bathroom larger and the kitchen a little smaller. See plan, the contractor may make field adjustments on site based on conditions. Remove the wall between the kitchen and living area to provide an opening from the kitchen to living area. (Open Space Concept). The wall that is removed will probably need a beam with a footing that goes to the basement floor. Kitchen cabinets will be new white finish with black finish handles. The counter top color will be determined by City staff.

\$ \_\_\_\_\_ Windows

- Provide and install new, vinyl double-hung replacement windows in all existing openings, except the 11 openings marked on the provided floor plan; see floor plan. If existing opening requires single hung, casement, etc. those options are allowed to match existing opening.
- Replacement windows must have Energy Star Rating-low E.
- Provide new full or half snap screens, as appropriate.
- Caulk all seams with low VOC caulk.
- Insulate openings as needed.

\$ \_\_\_\_\_ Electrical

- Rewire entire home including a new electrical panel. Existing panel is new however it may need a new meter box. To include hard wired smoke detectors per the Code and CO alarm. Also, electrical outlet for washer and electric dryer in basement. Garbage disposal in kitchen.
- Correct all existing violations or hazardous conditions.
- Consult (attached) HUD electrical requirements for minimum standards.
- Install all light fixtures, switches, boxes and covers. Wire the Garage for 2 lights and 2 outlets, and a garage door opener outlet in the ceiling.

\$ \_\_\_\_\_ Plumbing

- Replumb house with Pex plumbing  $\frac{3}{4}$  inch from the meter then down to  $\frac{1}{2}$  inch to each individual fixture.  $\frac{1}{4}$  turn shut offs at each fixture. Install a new direct vent gas 40-gallon water heater.

- Provide and install all tubs, vanities, sinks and toilet. Existing bath tub in house may be used if condition allows. Fixtures shall be in a nickel finish (not gold or black). The kitchen sink will be stainless steel.
- Install dishwasher, if applicable. Install plumbing and drains for a washer dryer in the basement near the bottom of the stairs.

\$\_\_\_\_\_ HVAC

- Existing heating system must be replaced with a 96% furnace.
- Update, as needed, all ductwork in home.
- Install new ductwork, as needed, to new modified layout of home.
- Install new water heater.

\$\_\_\_\_\_ Insulation and Ventilation

- Provide and insulate exterior walls of the home on all levels to meet required R-value in all areas as a renovation.
- Insulate ceiling and vent to meet the new energy code as a renovation.

\$\_\_\_\_\_ Drywall

- Install, glue and screw, drywall to all insulated exterior walls and open walls with ½ inch drywall and ¼ inch drywall over any existing materials on two top floors, no drywall is necessary in basement.
- Tape all joints, mud and use appropriate corner bead on all corners.
- Prime and paint all with City staff approved colors.

\$\_\_\_\_\_ Kitchen Cabinets and Counters

- Provide and install new factory finished lower and upper kitchen cabinets following City approved kitchen design. With a sink in the island/counter area by the living area. (Open Space Concept)
- Provide and install solid surface/laminate countertop materials to manufacturer's instructions.
- Top shall have a 4 inch back splash.
- Seams shall be straight with no open gaps.
- Pattern and color to be chosen by City staff.

\$\_\_\_\_\_ Kitchen Appliances

- Stove – Provide and install new freestanding electric stove.
- Refrigerator – Provide and install new free-standing refrigerator.

- Dishwasher – Provide and install new dishwasher.

\$\_\_\_\_\_ Floors

- Remove all damaged, deteriorated or rotted flooring materials throughout the house.
- Provide and install new sub floor materials to correct all damaged areas creating a level surface ready for installation of new material.
- Provide and install new floor covering materials which should be resilient, durable, easy to maintain and have a low long-term upkeep cost. All flooring should be installed to manufacturer’s instructions. Flooring should extend into all closets as well.
- Colors to be chosen by City staff.

\$\_\_\_\_\_ Paint

- All rooms must be painted, colors to be chosen by City staff.
- Basement walls and floor should be cleaned/scraped to a paint ready finish. Paint all basement surfaces including floor with appropriate masonry or floor paint.

\$\_\_\_\_\_ Front and back Porch

- The finished front and back porch will be 3-season porches. Refer to attached lead specs to determine condition post lead work. This porch will get new windows and insulation in the attic. It will be non-heated, painted finish.
- Provide materials and finish rehab to create 2 enclosed porches including proper supports, floor covering, trim, siding, etc. as needed. This front porch will have electric outlets.

\$\_\_\_\_\_ Doors

- Interior-Provide and install finished, hollow core 3 panel door at all openings, including closets, include hardware in brushed nickel finish (not gold or black). Ensure all doors swing freely. Bi-fold closet or pocket doors are acceptable alternatives for closets if needed.
- Provide and install new keyless panic proof bathroom lockset.
- Exterior-Provide and install new pre-hung exterior steel, insulated, quarter light door at all exterior openings. Provide and install hardware and exterior locksets. Ensure all doors swing freely.

\$\_\_\_\_\_ Garage

- Garage should be empty and clean after rehab. Provide materials and make any necessary substrate repairs to ensure garage is safe and secure. Remove windows on side.

- Overhead door will be installed in good working condition with garage door opener. Make any necessary repairs up to providing new if necessary.
- Provide and install new pre-hung, steel, 36" exterior door to side B. with a door knob lock.

\$ \_\_\_\_\_ Stairwells and Stairs

- Hand and guardrails to be installed.
- Build new stair system to the basement in the existing width at the top then to open up to 36 inches wide at the lower ½ of stairs

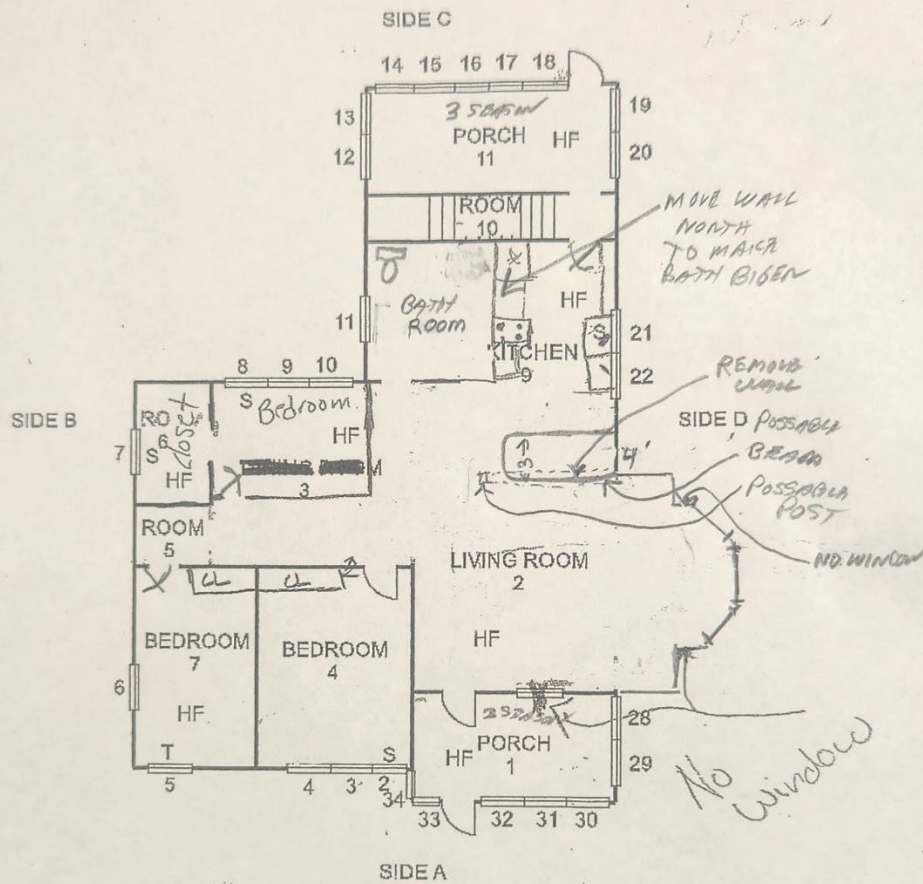
\$ \_\_\_\_\_ Exterior Landscaping and Fencing

- Clean entire yard to be free of all garbage
- Apply grass seed to entire yard

Existing Floor Plan with notes for changes  
for reference only

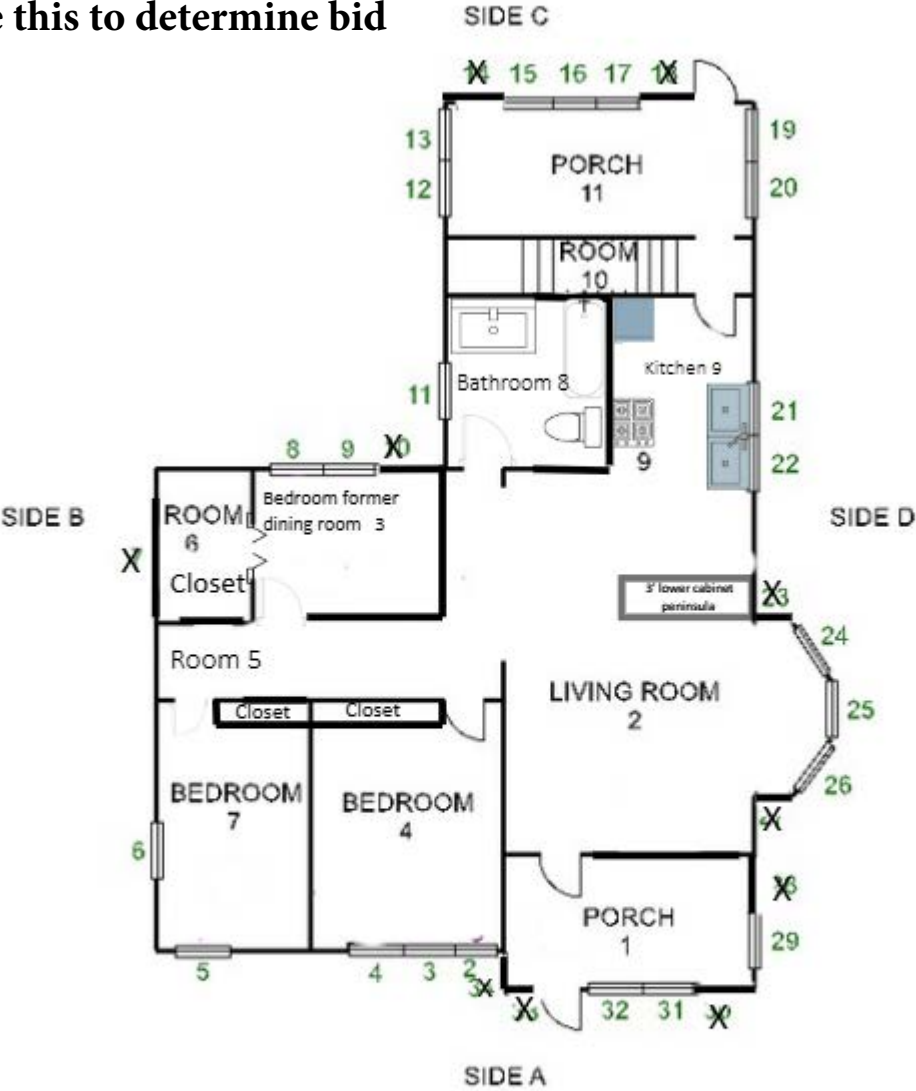
B-3: Floor Plans  
1183 PINE STREET  
MAIN FLOOR

NORTH  
→



DUST WIPE SAMPLE LOCATIONS KEY:  
HF = HARD FLOOR  
S = WINDOWSILL  
T = WINDOW TROUGH  
SS = SOIL SAMPLE

# Proposed New Floor Plan use this to determine bid





## GENERAL REHAB STANDARDS FOR HUD FUNDED PROJECTS

Funding for this project is being provided by the City of Muskegon through U.S. Department of Housing and Urban Development (HUD) HOME funds. The standards for the condition of HUD housing do not supersede State and local housing codes (such as fire, mechanical, plumbing, carbon monoxide, property maintenance, or residential code requirements). All rehab must comply with State or local housing codes and at a minimum, meet the following HUD rehab requirements:

1. To ensure that all residents live in safe, habitable dwellings, the items and components located inside and outside of HUD funded housing must be functionally adequate, operable, and free of health and safety hazards. Types of health and safety concerns include, but are not limited to carbon monoxide, electrical hazards, extreme temperature, flammable materials or other fire hazards, garbage and debris, handrail hazards, infestation, lead based paint, mold, and structural soundness.
  2. HUD housing must comply with all requirements related to the evaluation and control of lead-based paint hazards and have available proper documentation of such (see 24 CFR part 35). The Lead-based Paint Poisoning Prevention Act (42 U.S.C. 4821-4846), the Residential Lead-based Paint Hazard Reduction Act of 1992 (42 U.S.C. 4851-4856), and the applicable regulations at 24 CFR part 35 apply.
- A. **Exterior** – Refers to the building, building components and any building systems located outside of the building. Examples include fencing, retaining walls, grounds, lighting, mailboxes, detached garage or carport, driveway and walkways. The exterior must also meet the following requirements:
- a. Outlets within 6 feet of a water source must be GFCI protected
  - b. Any where there is an elevated walking surface with a drop off of 30 inches or greater measured vertically must have a guardrail.
- B. **Interior** - Examples of components included in the interior of a unit may include the balcony, bathroom, call-for-aid (if applicable), carbon monoxide devices, ceiling, doors, electrical systems, enclosed patio, floors, HVAC, kitchen, lighting, outlets, smoke detectors, stairs, switches, walls, water heater, and windows. The interior must also meet the following requirements:
- a. The unit must have hot and cold running water in both the bathroom and kitchen, including an adequate source of safe drinking water in the bathroom and kitchen.
  - b. The unit must include its own bathroom or sanitary facility that is in proper

operating condition and usable in privacy. It must contain a sink, a bathtub or shower, and an interior flushable toilet.

- c. The unit must include at least one battery-operated or hard-wired smoke detector, in proper working condition, in the following locations:
  - i. On each level of the unit;
  - ii. Inside each bedroom;
  - iii. Within 21 feet of any door to a bedroom measured along a path of travel; and
  - iv. Where a smoke detector installed outside a bedroom is separated from an adjacent living area by a door, a smoke detector must also be installed on the living area side of the door.
  - v. If the unit is occupied by any hearing-impaired person, the smoke detectors must have an alarm system designed for hearing-impaired persons.
- d. The unit must have a living room and a kitchen area with a sink, cooking appliance, refrigerator, food preparation area, and food storage area.
- e. Except for units subject to this subpart only through § 5.701 (a)(6) or (7), or housing otherwise exempt from this requirement as provided elsewhere in this title, the unit must meet or exceed the carbon monoxide detection standards set by HUD through FEDERAL REGISTER notification.
- f. The unit must have two working outlets or one working outlet and a permanent light within all habitable rooms.
- g. Outlets within 6 feet of a water source must be GFCI protected.
- h. The unit must have a permanently installed heating source. No units may contain unvented space heaters that burn gas, oil, or kerosene.
- i. The unit must have a guardrail when there is an elevated walking surface with a drop off of 30 inches or greater measured vertically.
- j. The unit must have a permanently mounted light fixture in the kitchen and each bathroom.



CITY OF MUSKEGON  
REQUEST FOR BID

Client: City of Muskegon  
Property: 1183 Pine

Prepared By: Victoria Luthy  
Revision Date: August 27, 2025

<b>Contractor Name</b>	
<b>Total Bid</b>	
<b>Estimated amount of time project will take</b>	
<b>Contractor Signature</b>	
<b>Owner Signature</b>	

Materials + Labor

\$	<p>Cost of building permit and/or zoning permit, final cleaning for unit to pass clearance and waste disposal. After lead hazard control work has been completed, unit shall be cleaned to meet current state and federal lead hazard control standards. Units must pass visual inspections, dust wipes and other clearance criteria. HEPA vacuum and wet clean all surfaces. Contractor shall be responsible for any collateral damage repair.</p> <p>Elevated lead dust concentrations on exterior/porch floors, window troughs and sills throughout home.</p> <p>All painted components beneath aluminum siding and trim are presumed lead hazards. Unfinished wall, ceiling and floors may make passing clearance inspections difficult. Notify project manager as needed during work.</p> <p>The square footage of friable asbestos containing materials (ACM) exceeds the amount allowed for a licensed residential building contractor to conduct asbestos removal work under the exemptions in Part 602 of the MIOSHA Asbestos Regulations. Asbestos Abatement and Cleaning to be completed by a licensed Asbestos Contractor prior to lead hazard abatement.</p> <p>Asbestos Hazards Impacting Lead Work: Vermiculite Insulation in the attic and Vermiculite Debris throughout at openings in ceilings and walls. Asbestos Contractor to address the following areas:</p> <p>Exterior, Side D at Room 2: Asbestos Contractor to remove and discard portions of exterior wall panels to identify/abate/remove/enclose vermiculite asbestos insulation.</p> <p>Continued Next Page</p>
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Client \_\_\_\_\_ Date \_\_\_\_\_ Contractor \_\_\_\_\_ Date \_\_\_\_\_ Project Manager \_\_\_\_\_ Date \_\_\_\_\_

Asbestos Information Continued

Room 1, Porch Ceiling: Asbestos Contractor to remove and discard portions of ceiling to identify/abate/remove/enclose vermiculite asbestos insulation.

Room 6, Plaster Walls All Sides: Asbestos Contractor to remove and discard portions of walls to identify/abate/remove/enclose vermiculite asbestos insulation.

Room 11, Back Porch, Walls, Sides B, C and D and Ceiling: Asbestos Contractor to remove and discard portions of walls and ceiling to identify/abate/remove/enclose vermiculite asbestos insulation.

**Glazing on Wood Windows is positive for asbestos but not considered friable. Lead Contractor to complete removal and disposal.**

\$

Exterior of House

All Painted Wood Window Components and All Painted Window Trim  
Exposed Wood Siding, Frieze Boards, Soffit, Gable Ends and Decorative Trim  
Front Porch Columns, Mullions and Rail Cap/Sill  
Side A Door Casing  
27 windows and 2 basement windows.

Any paint under the aluminum siding and wrapped trim should be presumed as Lead-Based Paint.

Remove all brush and vines growing into foundation/inside drip line.

Brace/Reinforce/Secure the Front Porch at Beam so all components can be removed between the lower walls and the beam on sides A, B and D of the front porch(Columns/Door Casing/Door Frame/Rail Cap/Mullions/Etc.)

Remove and discard all components between the porch beam and lower wall.

Side D at Room 2: Brace/Reinforce/Secure the walls so the crumbling brick foundation can be removed and replaced. Remove and discard all painted wood components back to the frame/sheathing.

Brace/Reinforce/Secure the Rear Porch at Beam so all components can be removed between the lower walls and the beam on sides B, C and D of the back porch.

Remove and discard all components between the porch beam and lower wall.

Continued Next Page

Client

Date

Contractor

Date

Project Manager

Date

Exterior Continued

Remove and recycle all brown aluminum (window) trim. Remove and recycle all aluminum storm windows. Remove and discard all wood window components and trim (sash/jamb/stops/casing/sills/etc.) back to the frame/studs. 27 windows and 2 basement windows.

Window numbers 7, 10, 14, 18, 23, 27, 28, 30, 33 and 34 will not be replaced. Prepare these openings for siding. Remove and dispose of any remaining painted wood window components. Wet scrape and fully apply Eco-Bond Lead Defender, or equivalent, with Bitrex (ie, LBC or equal) or approved taste aversion product to all remaining painted structural window components. Install 2" x 4" board vertically through center of openings greater than 16" wide. Install OSB over remaining opening from exterior of home and caulk seams to prepare for siding. Insulate wall opening with fiberglass batt to an R value of at least 15 (greatest R value the cavity will hold without compression).

Remove and discard all painted wood decorative trim, including gable ends.

Remove and recycle all vented aluminum soffit.

Furnish and install new aluminum siding matching the profile of the existing siding to areas with missing or damaged siding, including the upper wall on Side A (DO NOT INCLUDE SIDE D at ROOM 2). The existing yellow siding to be painted, so color match is not required. Install with fanfold as per manufacturer's written instructions to provide a complete, weather tight and maintenance free exterior (with chip catch).

Furnish and install new aluminum trim (white), fastened securely to all areas where it is missing or damaged where there is painted components remaining including:

The beam on side A, B and D of the Front Porch

Missing or Vented Soffit

Missing Fascia

Install new aluminum trim with the minimum of face nailing. Replace all deteriorated wood as needed to properly secure soffit system. Remove all light fixtures, hose bibs, dryer vents, electrical service masts, etc. prior to siding application (except gas and plumbing pipes). Cutting around these items will not be accepted. Owner to install new fixtures on completion as desired.

Siding should include metal cap over fanfold or backer board at perimeter base of buildings to be sided – as well as rakes over roofs.

Exposed wood siding at window openings to be enclosed with adhesive flashing membrane or similar.

	<p>Encapsulate any remaining painted structural surface. Perform substrate stabilization. Repair or replace damaged or rotted substrate. Wet scrape and fully apply Eco-Bond Lead Defender (or equivalent) to surfaces and label.</p> <p>Ensure all exterior surfaces are free of visual dust, paint chips and debris, including but not limited to roofs and eaves troughs.</p> <p>Secure/board up openings to prevent intruders or damage from regular weather.</p>
\$	<p>Exterior – Garage Missing/Damaged Soffit and Fascia Sides A, B and C - Wood Window Components and Trim (All Painted interior and exterior) Side B – Door and All Door Trim (All Painted interior and exterior)</p> <p>Any paint under the aluminum siding and wrapped trim should be presumed as Lead-Based Paint.</p> <p>Remove all brush and vines growing into foundation/inside drip line.</p> <p>Remove and discard all painted wood window and door components and trim (door/sash/jambs/stops/casing/sills/etc.) back to the frame/studs.</p> <p>Remove and recycle all vented aluminum soffit.</p> <p>Furnish and install new aluminum trim (white), fastened securely to all areas where it is missing or damaged including missing or vented soffit and fascia. Install new aluminum trim with the minimum of face nailing. Replace all deteriorated wood as needed to properly secure soffit system.</p> <p>Exposed wood siding at window openings to be enclosed with adhesive flashing membrane or similar.</p> <p>Encapsulate any remaining painted structural surface. Perform substrate stabilization. Repair or replace damaged or rotted substrate. Wet scrape and fully apply Eco-Bond Lead Defender (or equivalent) to surfaces and label.</p> <p>Ensure all exterior surfaces are free of visual dust, paint chips and debris, including but not limited to roofs and eaves troughs.</p> <p>Secure/board up openings to prevent intruders or damage from regular weather.</p>
\$	

	<p>Soil, Side C, Approximately 50 Square Feet at 641 ppm          Soil, Side D, Approximately 70 Square Feet at 1090 ppm</p> <p>Remove all visible paint chips and debris from area. Rototill to a minimum of 6" of soil to completely mix soil within the defined area. Ensure all soil clumps are removed. Cover area with landscape fabric and a minimum of 4-6" of natural stone or other landscape covering (homeowner to choose). Integrated Pest Management protocol to be followed (avoid mulch). Ensure soil is graded away from foundation. Remove soil and dispose of properly as needed to prevent covering wood/siding/window components.</p>
<p>\$</p>	<p>Room 1, Front Porch – All Remaining Painted Wood Components          Walls, All Sides          Ceiling and Upper Trim          Floor          Columns (all) and Door Casing/Frame on Side A*          All Remaining Painted Wood Window Components/Trim/Rail Cap/Sill – All Sides          All Door Components on Side C (Door/Jambs/Stops/Casing/Threshold)</p> <p>If beam is paneled, remove and discard painted panel back to beam.          Remove and discard all components. Discard remaining painted lap siding on Side C back to sheathing. Remove and discard wall panels back to the frame. Remove and discard floor back to the joists.</p> <p>Encapsulate any remaining painted structural surface, including the beam. Perform substrate stabilization. Repair or replace damaged or rotted substrate. Wet scrape and fully apply Eco-Bond Lead Defender (or equivalent) to surfaces and label.</p> <p>Secure/board up openings to prevent intruders or damage from regular weather.          *Removed as part of exterior specification.</p>
<p>\$</p>	<p>Room 4 – Crown Molding, Baseboards          All Wood Closet Components – Walls, Floor, Shelves, Shelf Supports, All Door Components (door/jambs/casing)          Side C, Door to Room 3 – All Painted Door Components (Door/Jambs/Casing)</p> <p>Remove and discard all components back to the plaster walls and wall framing.          Encapsulate any remaining painted structural surface. Perform substrate stabilization.          Repair or replace damaged or rotted substrate. Wet scrape and fully apply Eco-Bond Lead Defender (or equivalent) to surfaces and label.</p>
<p>\$</p>	<p>Room 5, Hall – Baseboards          Side A to Room 7 – Door and All Door Trim/Jambs/Stops/Casing (both rooms)</p>

	<p>Side C to Room 6 – All Door Trim/Jambs/Stops/Casing (both rooms)</p> <p>Remove and discard materials back to the frame/plaster/drywall. Encapsulate any remaining painted structural surface. Perform substrate stabilization. Repair or replace damaged or rotted substrate. Wet scrape and fully apply Eco-Bond Lead Defender (or equivalent) to surfaces and label.</p>
\$	<p>Room 6 - Plaster Walls, Baseboard, All Remaining Window Components/Trim</p> <p>Remove and discard painted wood trim and remaining plaster and lathe back to the studs. Encapsulate any remaining painted structural surface. Perform substrate stabilization. Repair or replace damaged or rotted substrate. Wet scrape and fully apply Eco-Bond Lead Defender (or equivalent) to surfaces and label.</p>
\$	<p>Room 7 – Baseboard, All Remaining Window Components/Trim</p> <p>Remove and discard painted wood trim. Encapsulate any remaining painted structural surface. Perform substrate stabilization. Repair or replace damaged or rotted substrate. Wet scrape and fully apply Eco-Bond Lead Defender (or equivalent) to surfaces and label.</p>
\$	<p>Room 8 - Plaster Walls and Ceiling, All Remaining Painted Window and Door Components/Trim</p> <p>Remove and discard painted wood trim and remaining plaster and lathe back to the studs. Encapsulate any remaining painted structural surface. Perform substrate stabilization. Repair or replace damaged or rotted substrate. Wet scrape and fully apply Eco-Bond Lead Defender (or equivalent) to surfaces and label.</p>
\$	<p>Room 10, Basement Stairs – Painted Wood Shelving and Supports Side B – Wood Ledge/Shelf Over Stairs Side D – Shelf Supports</p> <p>Remove and discard all painted wood trim.</p>
\$	<p>Room 11, Back Porch – Walls (lap and panel), Ceiling and Upper Trim Door Header at Side C All Remaining Painted Wood Window Components/Trim/Framing/Rail Cap</p> <p>Brace/secure the upper structure as needed for removal of painted window and door frames on sides B, C and D. Remove and discard all painted components back to the frame or sheathing (at lap siding) Encapsulate any remaining painted structural surface. Encapsulate the beam.</p>

Client

Date

Contractor

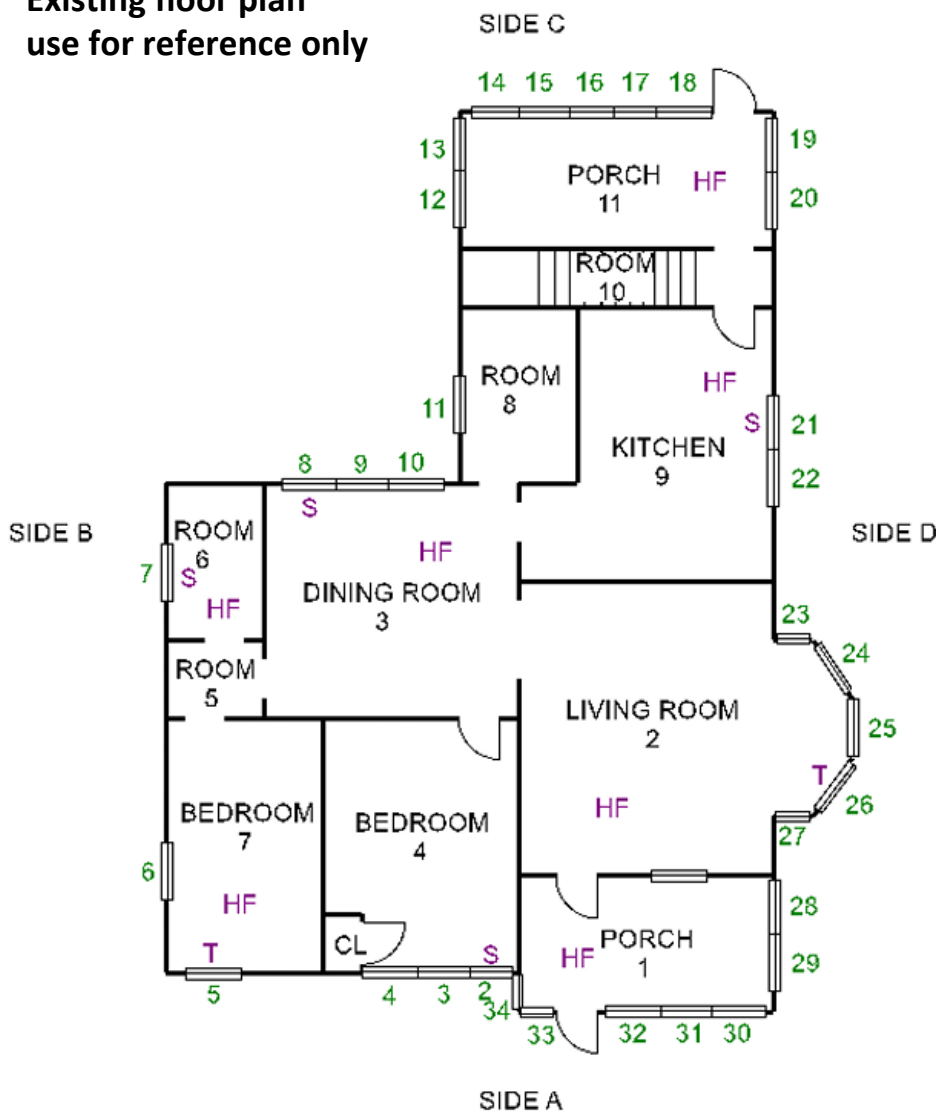
Date

Project Manager

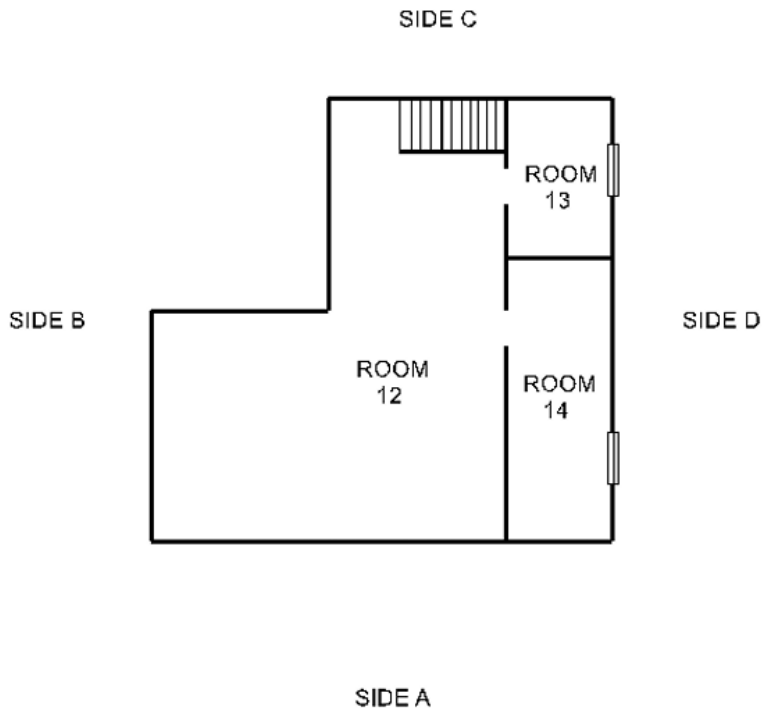
Date

	Perform substrate stabilization. Repair or replace damaged or rotted substrate. Wet scrape and fully apply Eco-Bond Lead Defender (or equivalent) to surfaces and label.
\$	Room 14, Basement, Side C – Cement Block Wall  Perform substrate stabilization. Repair or replace all damaged or rotted substrate. Wet scrape and paint surface using an epoxy paint. Apply all products to manufacturer’s specifications for application and proper surface temperature at time of application. Owner to choose finish color.

**Existing floor plan  
 use for reference only**



1183 PINE STREET  
BASEMENT



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Client \_\_\_\_\_ Date \_\_\_\_\_

Contractor \_\_\_\_\_ Date \_\_\_\_\_

Project Manager \_\_\_\_\_ Date \_\_\_\_\_

CITY OF MUSKEGON  
 REQUEST FOR BID  
 ASBESTOS ABATEMENT

Client: City of Muskegon  
 Property: 1183 Pine

Prepared By: Victoria Luthy  
 Revision Date: September 2, 2025

<b>Contractor Name</b>	
<b>Total Bid</b>	
<b>Estimated amount of time project will take</b>	
<b>Contractor Signature</b>	
<b>Owner Signature</b>	

Materials + Labor

\$	<p>Cost of building permit and/or zoning permit, final cleaning for unit to pass clearance and waste disposal. After asbestos abatement has been completed, unit shall be cleaned to meet current state and federal air quality standards. Units must pass visual inspection and air quality clearance criteria. HEPA vacuum and wet clean all surfaces. Contractor shall be responsible for any collateral damage repair.</p> <p>Note: Unfinished wall, ceiling and floors may make passing clearance inspections difficult. Notify project manager as needed during work.</p>
\$	<p>Room 2- 256 Square Feet of Mastic on Wood Floor          Not Considered Friable          Wet scrape material that will prevent a smooth finish of the final floor covering (floating laminate floor). Clean and seal floor/label.</p>
\$	<p>Room 11 – 90 Square Feet of Linoleum Backing on Wood Floor</p> <p>Remove and discard entire floor, wood and cellulose down to the subfloor.</p>
\$	<p>Basement          16 Square Feet of Duct Wrap on 4 Boots          20 Linear Feet of Round Duct Covered with Asbestos Wrap</p> <p>Remove and discard wrapped boots and wrapped round duct.</p>

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Client \_\_\_\_\_ Date \_\_\_\_\_ Contractor \_\_\_\_\_ Date \_\_\_\_\_ Project Manager \_\_\_\_\_ Date \_\_\_\_\_

<p>\$</p>	<p>Attic – Approximately 1,100 Square Feet of Vermiculite Insulation          Entire Home – Vermiculite Debris throughout and at openings in ceilings and walls.          The presence of vermiculite in all walls and ceilings was not determined.</p> <p>Remove vermiculite insulation in attic. Seal/Enclose attic as needed.          Determine the presence of vermiculite insulation in the following locations where renovations and lead abatement are planned:</p> <p>Exterior Wall, Side D at Room 4          Room 1, Front Porch Ceiling          Room 1, Front Porch Walls, All Sides          Room 2, Side C Wall          Room 6, Plaster Walls, All Sides          Room 11, Back Porch Walls, All Sides          Room 11, Back Porch Ceiling</p>
<p>\$ If Present</p>	<p>Exterior, Side D at Room 2: Remove and discard portions of siding and complete insulation/vermiculite asbestos removal/enclosure/abatement as needed in the wall cavity.</p>
<p>\$ If Present</p>	<p>Room 1, Front Porch, Ceiling: Remove and discard portions of ceiling and complete insulation/vermiculite asbestos removal/enclosure/abatement as needed.</p>
<p>\$ If Present</p>	<p>Room 1, Front Porch, Side C: Remove and discard portions of wall and complete insulation/vermiculite asbestos removal/enclosure/abatement as needed;</p> <p>OR – provide consultation to project manager or remedies for adding insulation to the wall cavities without abatement.</p>
<p>\$ If Present</p>	<p>Room 1, Front Porch, Sides A, B and D, Lower Walls: Remove and discard portions of wall and complete insulation/vermiculite asbestos removal/enclosure/abatement as needed.</p>
<p>\$ If Present</p>	<p>Room 2, Side C, Plaster Wall: This wall is to be removed. Remove and discard entire plaster wall and wood studs to complete insulation/vermiculite asbestos removal/enclosure/abatement as needed.</p>
<p>\$ If Present</p>	<p>Room 6, Plaster Walls (All Sides): Remove and discard portions of plaster walls to complete insulation/vermiculite asbestos removal/enclosure/abatement as needed.</p>
<p>\$ If Present</p>	<p>Room 11, Back Porch, Ceiling: Remove and discard portions of ceiling and complete insulation/vermiculite asbestos removal/enclosure/abatement as needed.</p>

\$  If Present	Room 11, Back Porch, Side A: Remove and discard portions of wall and complete insulation/vermiculite asbestos removal/enclosure/abatement as needed;  OR – provide consultation to project manager or remedies for adding insulation to the wall cavities without abatement.
\$  If Present	Room 11, Back Porch, Sides B, C and D, Lower Walls: Remove and discard portions of wall and complete insulation/vermiculite asbestos removal/enclosure/abatement as needed.
--	Glazing on Wood Windows is positive for asbestos but not considered friable. Lead Contractor to complete removal and disposal.

**Existing floor plan for reference only**

